

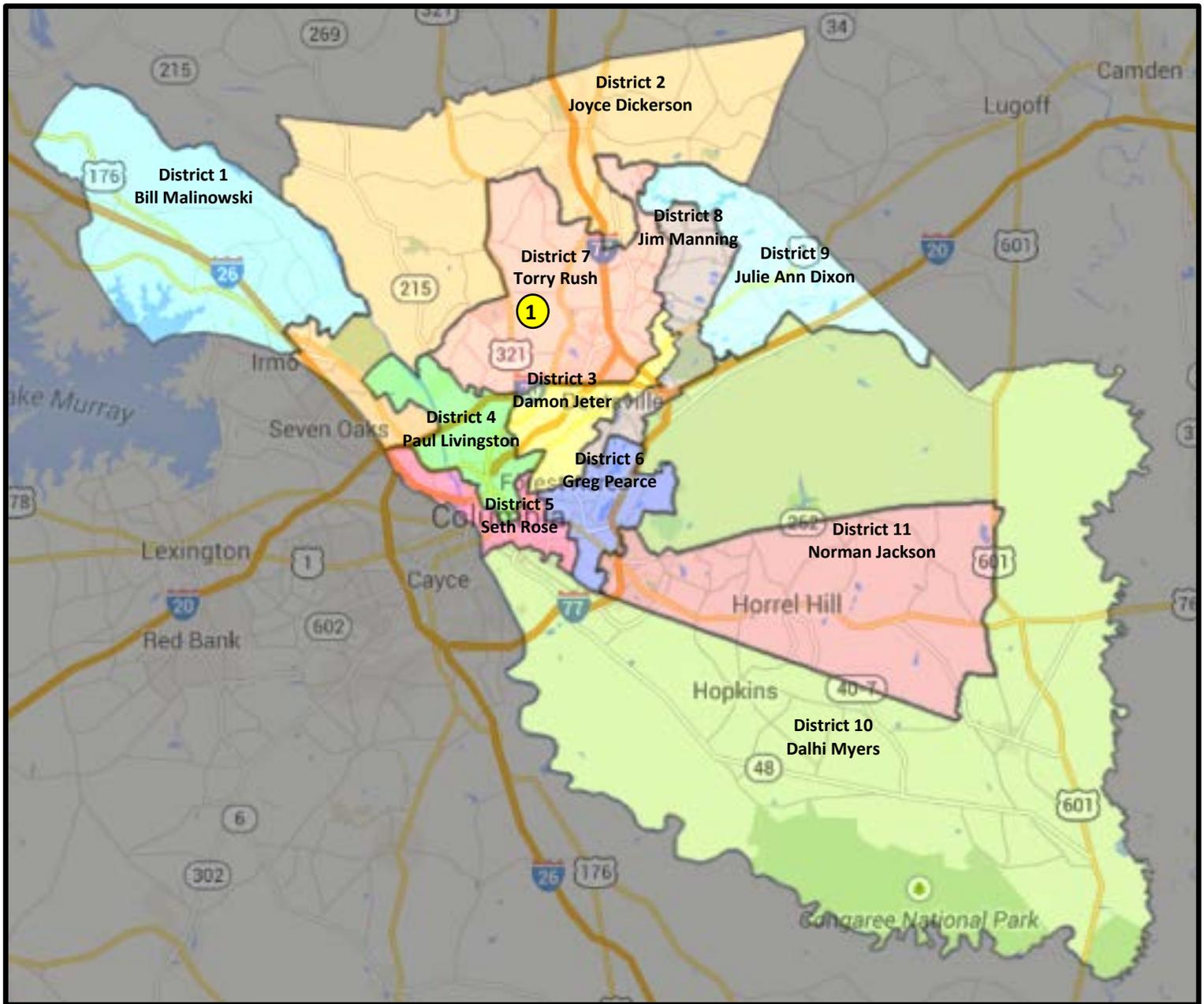
RICHLAND COUNTY BOARD OF ZONING APPEALS



Wednesday, 7 September 2016
3 p.m.
Council Chambers

RICHLAND COUNTY BOARD OF ZONING APPEALS

September 7, 2016



CASE NO.	APPLICANT	TMS NO.	LOCATION	DISTRICT
1. 16-05 V	Robert Murphy TriggerTyme Paintball	R12100-02-23	345 Koon Store Road Columbia, SC 29203	Rush



**Richland County
Board of Zoning Appeals
Wednesday, September 7, 2016
2020 Hampton Street
2nd Floor, Council Chambers
3:00 p.m.**

Agenda

- I. CALL TO ORDER & RECOGNITION OF QUORUM** **Joshua McDuffie, Chairman**
- II. ADOPTION OF AGENDA**
- III. PUBLIC NOTICE ANNOUNCEMENT**
- IV. RULES OF ORDER** **Joshua McDuffie, Chairman**
- V. PUBLIC HEARING** **Geonard Price,
Deputy Planning Director/ Zoning Adm.**

OPEN PUBLIC HEARING

**16-05 SE
Robert Murphy
TriggerTyme Paintball
345 Koon Store Rd.
Columbia, SC 29203
TMS: 12100-02-23**

**Requests a special exception to establish a paintball
facility on property zoned Rural (RU)**

- VI. OTHER BUSINESS**
- VII. ADJOURNMENT**



REQUEST, DISCUSSION AND RECOMMENDATION

CASE:

16-05 Special Exception

REQUEST:

The applicant is requesting the Board of Zoning Appeals to grant a special exception to permit the establishment of an athletic field on property zoned Rural (RU) district.

GENERAL INFORMATION:

Applicant: Robert Murphy
Triggertyme Paintball

TMS: 12100-02-23

Location: 345 Koon Store Road, Columbia, SC 29203

Parcel Size: 21± acre tract

Existing Land Use: The parcel is currently occupied by a residential structure and a pond.

Proposed Land Use: The applicant proposes to establish a paintball facility in the rear of the property.

Character of Area: The general area consists of large, residentially developed rural parcels.

ZONING ORDINANCE CITATION:

Table 26-V-2 of the Land Development Code authorizes the Board of Zoning Appeals to authorize continued care retirement communities subject to the provisions of section 26-152 (d) (6).

CRITERIA FOR SPECIAL EXCEPTION:

In addition to definitive standards in this chapter, the Board shall consider the following:

1. Traffic impact.
2. Vehicle and pedestrian safety.
3. Potential impact of noise, lights, fumes or obstruction of airflow on adjoining property.
4. Adverse impact of the proposed use on the aesthetic character of the environs, to include possible need for screening from view.
5. Orientation and spacing of improvements or buildings.

Special exception requirements (as found in section 26-152 (d) (1)):

(1) *Athletic fields.*

- a. Use districts: Rural; Rural Residential; Residential, Single-Family, Estate; Residential, Single-Family, Low Density; Residential, Single-Family, Medium Density; Residential, Single-Family, High Density; Manufactured Home Park; Residential, Multi-Family, Medium Density; Residential, Multi-Family, High Density.
- b. Parking lots for athletic fields shall have primary access to collector or thoroughfare roads.
- c. Lights shall be positioned so as not to shine onto adjacent properties.
- d. Loud speaker systems shall not be operated before 8:00 a.m. or after 10:00 p.m.

DISCUSSION:

Staff visited the site.

The applicant is proposing to establish a paintball facility on three (3) fields which will be located in the rear of the subject parcel. According to the site plan, the maximum area for each field is 7,500 square feet. Each field will be at least one-hundred and ten (110) feet from each adjacent property lines. In addition to the paintball fields, a 10x50 (500) square foot office/rental building will be located near the Koon Store Road entrance.

Staff did not observe any conditions or factors that would negatively impact the properties in the surrounding area by the establishment of this type of development.

Staff recommends **approval**.

If granted approval, the proposed project will be subject to site plan review, which will entail a review from the following Richland County Departments:

- Planning
- Building
- Public Works
- Fire Marshal

If an approval is granted, it is recommended the BOZA review the proposed development schedule to determine if conditions should be applied. It is staff's recommendation that an approval stipulate the following:

1. Plans for the development of the site must be submitted for official review by Richland County within six (6) months of the approval of the special exception;
2. Any required construction for the project must be initiated within six (6) months of the approval of the site plans;
3. Clearing of the site shall be limited to the removal of underbrush and trees less than four (4) inch diameter breast height (DBH).
4. The submitted site plan is considered to be a conceptual layout for the proposed development. The special exception approval by the Board of Zoning Appeals does not constitute an official site and/or building plan review and approval;
5. Major changes to the site plan, such as an increase in the square footage of structures/fields or changes to the required landscaping, will require an additional review and approval by the Board of Zoning Appeals; and
6. The Zoning Administrator shall determine if any requested changes to the Special Exception are major changes.

CONDITIONS:

Section 26-56 (f) (3)

Conditions: In granting a special exception, the board of zoning appeals may prescribe conditions and safeguards in addition to those spelled out in this chapter. The board of zoning appeals may also prescribe a time limit within which the special exception shall be begun or completed, or both. All conditions placed on the project by the board of zoning appeals shall be incorporated into such project.

OTHER RELEVANT SECTIONS:

N/A

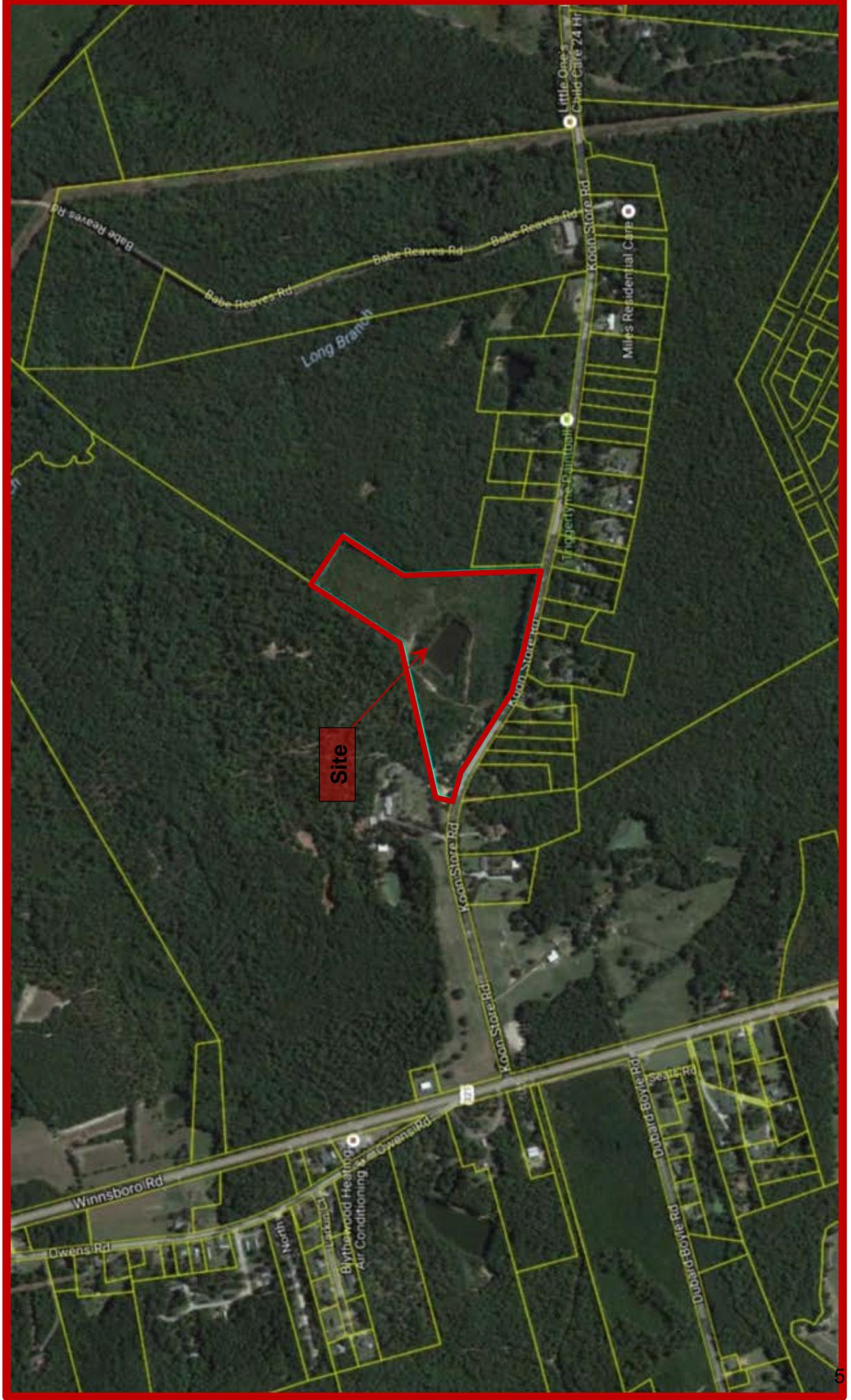
CASE HISTORY:

N/A

ATTACHMENTS:

- Site plan
- Application

16-05 SE
TRIGGER TYME PAINTBALL
345 KOON STORE RD.
COLUMBIA, SC 29203
TMS# 12100-02-23





BOARD OF ZONING APPEALS

SPECIAL EXCEPTION



1. Location: 345 Koon Store Rd
 TMS Page: R12100 Block: 02 Lot: 23 Zoning District: R4

2. The Board of Zoning Appeals is requested to consider the granting of a special exception permitting:
use paintball field

3. Describe the proposal in detail: parking about 25 spot / ~~land~~
/ playing paintball game -

4. Area attributed to the proposal (square feet): 3 drawing - Field/parking/land

5. Are other uses located upon the subject property? No Yes (if Yes, list each use and the square footage attributed to each use):

- a. Use Fields square footage _____
- b. Use Parking square footage _____
- c. Use _____ square footage _____

6. Total number of parking spaces on the subject property: 25

7. Total number of employees on shift of greatest employment: 2 to 4

8. Address the following **Standards of Review** (Sec. 26-56 (f) (2) of the Richland County Land Development Code). Please note that the members of the Board of Zoning Appeals will use your answers, among other things, as they evaluate your request.

a. Traffic impact: No / We moved from 429 Koon Store to
345 Koon Store

b. Vehicle and pedestrian safety: all park w side to property

c. Potential impact of noise, lights, fumes or obstruction of airflow on adjoining property: he will
be on SAT only from 10 AM 5:30 PM and the
FIELD are 1000 ft from Rd -

d. Adverse impact of the proposed use on the aesthetic character of the environs, to include possible need for screening from view: No - / we been next door for 26 yr
with no impacted -

e. Orientation and spacing of improvements or buildings: 1-Storage Shed - fields
will not have any structure

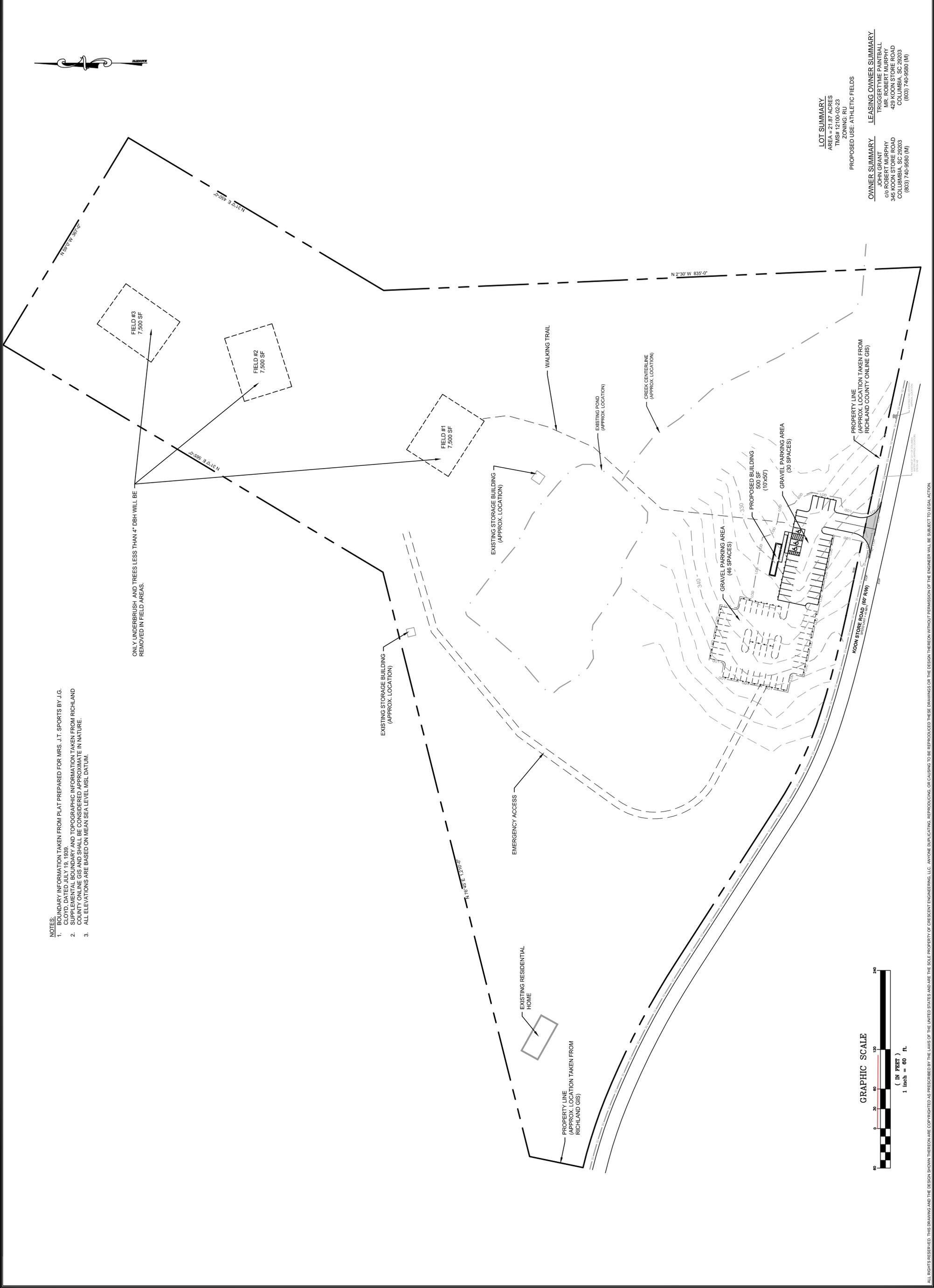
NO.	DESCRIPTION	DATE



DATE: JULY 18, 2016
 SCALE: 1" = 60'

TRIGGERTYME PAINTBALL
 PREPARED FOR
 TRIGGERTYME PAINTBALL
 NEAR THE CITY OF COLUMBIA, RICHLAND COUNTY, S.C.

C1 OF 3
 PROJECT NO. 16009



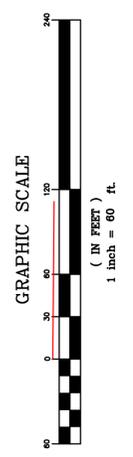
- NOTES:
- BOUNDARY INFORMATION TAKEN FROM PLAT PREPARED FOR MRS. J.T. SPORTS BY J.G. CLOUD DATED JULY 18, 1999.
 - TOPOGRAPHIC AND TOPOGRAPHIC INFORMATION TAKEN FROM RICHLAND COUNTY ONLINE GIS AND SHALL BE CONSIDERED APPROXIMATE IN NATURE.
 - ALL ELEVATIONS ARE BASED ON MEAN SEA LEVEL MSL DATUM.

ONLY UNDERBRUSH AND TREES LESS THAN 4" DBH WILL BE REMOVED IN FIELD AREAS.

LOT SUMMARY
 AREA = 21.87 ACRES
 TMS# 12100-02-23
 ZONING: RU
 PROPOSED USE: ATHLETIC FIELDS

OWNER SUMMARY
 JOHN GRANT
 MR. ROBERT MURPHY
 348 KOON STORE ROAD
 COLUMBIA, SC 29203
 (803) 740-9560 (M)

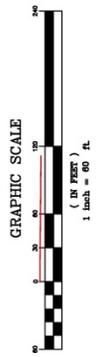
LEASING OWNER SUMMARY
 TRIGGERTYME PAINTBALL
 MR. ROBERT MURPHY
 429 KOON STORE ROAD
 COLUMBIA, SC 29203
 (803) 740-9560 (M)



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- NOTES:
1. BOUNDARY INFORMATION TAKEN FROM PLAT PREPARED FOR MRS. J.T. SPORTS BY J.G. CLOYD, DATED JULY 19, 1939.
 2. TOPOGRAPHIC AND TOPOGRAPHIC INFORMATION TAKEN FROM RICHLAND COUNTY ONLINE GIS AND SHALL BE CONSIDERED APPROXIMATE IN NATURE.
 3. ALL ELEVATIONS ARE BASED ON MEAN SEA LEVEL (MSL) DATUM.

ONLY UNDERBRUSH AND TREES LESS THAN 4" DBH WILL BE REMOVED IN FIELD AREAS.





Richland County Government
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Columbia, SC 29204

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